### AGENDA REGULAR DRAINAGE MEETING October 23, 2019 8:30 AM

- 1. Open Meeting
- 2. Approve Agenda
- 3. Approve Minutes October 9, 2019 Regular Drainage Meeting October 9, 2019 DD 25 Landowner Meeting

Documents:

10\_9\_2019 - DRAINAGE MINUTES.PDF DD 25 LANDOWNER MTG 10\_9\_2019 - MINUTES.PDF

4. DD 55 - Discuss W/ Possible Action, Wetlands Project

Documents:

DD 55 HAR872234B WETLAND PERMITTING PLANS.PDF DD 55 WETLAND PROJECT EMAIL.PDF

- 5. Discuss W/ Possible Action IRUA Check
- Discuss W/ Possible Action, IRUA Invoices CGA - \$255.00 and Davis Brown Law - \$500.00 & \$20.00.
- 7. DD 25 Update On Lat 3 And Main Split

Documents:

DD 25 6501 - LAT 3 AND MAIN SPLIT.PDF EMAIL FROM GALLENTINE FOR LAT 3 AND MAIN SPLIT.PDF

8. DD 124 - Update On WO #259

Landowner Steve Kjormoe reported that the problem has gotten worse and is about 1/4 mile long in his field. He has contractor Justin Ross (Grundy County) working on private tile and has asked if he can have Ross do the repair to district tile.

9. Approval Of Out Of County Contractor Contractor Justin Ross, see attached Liability Insurance document.

Documents:

### ROSS COL.PDF

10. DD 22 LAT 1 - Approve Work Order 276

DD 22 LAT 1 - Randy Silvest stopped in to report a dry sinkhole in center of his wetland area, directly north of his house, LAT 1 runs directly through wetland where Randy reports sinkhole. He reports sinkhole is 6' to 8' across and 3' deep. Requests further investigation, repair, and to have Engineer contact him.

Documents:

### DD 22 LAT 1 WO 276.PDF DD 22 LAT 1 WO 276 MAP.PDF

11. DD 38 - Approve Work Order Request #231

Justin Huebner called in to report issues with Lat 4 tile. Neighbor's parcel had repairs to Lat 4 that were expected to resolve his issues downstream, Huebner still has 7-8 acres that were flooded out in his parcel that were not resolved by neighbor's repair. Verified with Huebner current wet spot locations are the same as noted in DD38 Lat 4 Observation Report, dated 5-16-19. He requests further investigation & repair this fall, and to be contacted by Engineer.

Documents:

6739 - DD38WO231 REPAIR SUMMARY.PDF DD 38 LAT 4 OBSERVATION REPORT 5-15-19.PDF DD 38.DOCX

12. DD 48 - Approve Work Order Request #274

DD 48 - Larry Dougan came in to report the open ditch is meandering from current track into field, and requested repair. Asked to be contacted by Engineer when looking at ditch. See work order 151 attached.

Documents:

WO 151 2016.PDF DD 48 WO 274.PDF MAP FOR WO 274.PDF

13. DD 131 - Approve Work Order Request #275

-Blowout, Greg Huebner called in to report a blowout on DD 131 Main line, 100 yards directly east of building site, blowout is 8' to 10' across. See Work Order 275 attached.

Documents:

### DD 131 WO 275 MAP.PNG

14. DD 154 - Discuss W/ Possible Action, Landowner Concerns

DD 154 - Roger Woolworth emailed photos with concerns of ponding on his property, in which he references flooding out of the drainage ditch after recent 1-1/2" of rain. Mr. Woolworth questions if the ditch/ground is cut wrong, creating the ponding of water. DD 154 has no recent projects / work orders in Tyler/Access, and does not look to have had any work done in very long time. Possibly related-There is an open ditch noted on Open Ditch Spraying Bids for DD 154 that is not reflected in GIS/Beacon.

Documents:

DD 154 ROGER WOOLWORTH MAP.PDF DD 154 ROGER WOOLWORTH B 10-21-19.JPG DD 154 ROGER WOOLWORTH D 10-21-19.JPG DD 154 ROGER WOOLWORTH C 10-21-19.JPG DD 154 ROGER WOOLWORTH A 10-21-19.JPG

- 15. Other Business
- 16. Adjourn Meeting

# **REGULAR DRAINAGE MEETING**

### 10/9/2019 - Minutes

1. Open Meeting

Hardin County Drainage District Board of Trustees Chairperson, Renee McClellan, opened the meeting. Also present were Trustee Lance Granzow. Landowner Tom and Cheryl Roberts. Contractor Matt DeSchamp, Mike Marquess, Attorney for DeSchamp, Lee Gallentine with Clapsaddle-Garber Associates (CGA), and Heather Thomas with Clapsaddle-Garber Associates (CGA), Becca Junker, previous Drainage Clerk, and Denise Smith, new Drainage Clerk.

- 2. Approve Agenda Granzow moved, McClellan seconded to approve the agenda as presented. All ayes. Motion carried.
- 3. Approve Minutes Granzow moved, McClellan seconded to approve the minutes as presented. All ayes. Motion carried.
- 4. Approve Claims For Payment

McClellan moved, Granzow seconded to approve the claims for payment with pay date of Friday, October 11, 2019. All ayes. Motion carried.

DD 86 - Professional Serv. After 7/26/19 to 9/27/19 Clapsaddle-Garber Assoc. \$1,223.00

- DD 102 Review of wetland plans Clapsaddle-Garber Assoc. \$643.40
- DD 22 Professional Serv. After 8/24/19 to 9/21/19 Clapsaddle-Garber Assoc. \$19,625.85
- DD 1 Cont. observe, contract admin D35 Rd Xing Clapsaddle-Garber Assoc. \$1,473.00
- DD 109 Reimbursement for work done Prochaska, Dennis \$778.17
- DD 9 Review of annexation information The Davis Brown Law Firm \$150.00
- DD 9 Inv. of Blowout on Lat 1 Clapsaddle-Garber Assoc. \$348.00
- DD 9 Annexation Clapsaddle-Garber Assoc. \$1,201.65
- DD 25 Const. Obsrv. Lat 3 & Main Clapsaddle- Garber Assoc. \$9,448.65
- DD 34 Const. Observ Main Clapsaddle-Garber Assoc. \$729.80
- DD 56 Work to date for Reclass Clapsaddle-Garber Assoc. \$2,312.00
- DD 109 Reimbursement Prochaska, Dennis \$2,174.94
- DD 128 Const. Obsrv open channel Clapsaddle-Garber Assoc. \$350.30
- DD 146 Field Obsrv to repair outlet on main Clapsaddle-Garber Assoc. \$150.65
- DD 165 Field Obsrv to repair sinkhole & outlet Clapsaddle-Garber Assoc. \$150.65
- DD 167 Inv. sinkhole Clapsaddle-Garber Assoc. \$220.50
- DD 35-1 Inv. sinkhole on Lat 1 Clapsaddle-Garber Assoc. \$142.30
- DD 106 Repair on main tile Clapsaddle-Garber Assoc. \$219.70

### 5. DD 72 - Discuss, With Possible Action, Contractor Update

It had previously been noted by Schlemme (June 13, 2018 minutes) in minutes that "DD 72 has a some rock/debris discovered in tile between during televising, the debris is in the middle of the tile line. Debris is approximately 1,000' from either of two available manholes and the distance to the area of debris is too far in the line to be jetted out, and that DeSchamp would install a new manhole to remove the debris. It was a good possibility that the debris may have flushed itself but this would need more televising. Marquess reminded everyone that this area is under a two year warranty and not part of substantial completion and they would like to complete this work before warranty time expires. The Trustees agreed for Schlemme to set a reminder for fall of 2019 to televise the tile, DeSchamp to dig up the manhole, and the district to pay for the televising costs. If debris remains, DeSchamp will remove it under warranty."

There is the possibility that the debris may have flushed itself, due to heavy rains this year, but the area would need to be televised again to confirm this. The plan was to dig up the bottom manhole and do televising. If tile is working, DeSchamp would prefer not to dig it up if the tile is flowing and there are no issues. Granzow noted he had heard nothing from the landowners, and requested we bring in the landowners to see if things are working and they are satisfied with the flow/work. It was noted that the work would need to be done after harvest and possibly in the spring, DeSchamp is willing to do work if debris is there, but may need an extension on the warranty if he can't get into field to do the work till spring.

Date set for DD 72 landowner meeting on December 4th, 2019 at 8:30 am.

6. DD 22 - Discuss, With Possible Action, Project Update & Pay Estimate #2

Heather Thomas with Clapsaddle-Garber Assoc. (CGA) gave an update on work on DD 22. Work is going well but slow due to very wet conditions, water in trenches. In last 3 weeks, only 3 days that they have been able to get pipe in the ground and are pumping a lot of water. Hoping for drier conditions for work to proceed next week, but may have to be pushed back due to more wet weather in the forecast. Thomas has noted updates from Randy Silvest, he is set to begin harvest this week weather permitting so they are pulling lath to get out of his way and open his accesses back up. Silvest did have concerns about excessive noise from the pumps running near his home, he says pump is running too much and disturbing him at home. Thomas spoke with Silvest and explained that pumps have to run due to wet conditions.

Gehrke did reach out to the County and two contractors, Trent Winter and Paul Williams to talk to them about the septic lines at Travis Ryerson's house, as septic lines lie over the top of the district tile and were damaged while work was being done on DD 22. Neither Winter or Williams are willing to do the repair work. Jeremy will do the septic repair himself, he will get a change order price to the Trustees for the septic repair.

CGA prepared the change order for the cross connections, Gehrke requested we make sure the structures are where we expect them to be to avoid any exploratory excavation. CGA pulled coordinates from Rankin's files to verify, as soon as conditions dry up CGA will probe to verify locations and Gehrke will submit a price. Gehrke will change their approach due to how much water is out there, once they get across C Avenue, they will run it parallel and come back and dig to remove old tile. There is just too much water to make much progress at this time. They are still south of Silvest's house at this time due to wet conditions, and they are out 7 days a week checking pumps. Jeremy is not sure he will make the December 1st deadline. CGA will hit estimated expenses around 1st of November, and are willing to pull back their hours and allow Gehrke to work while CGA are not present. CGA wanted to let Trustees know now, while there is still time to adjust.

Gallentine stated that Randy from CGA is getting a shot on every pipe to make sure concrete pipe is seated correctly. Thomas stated that work goes well in the morning but by 3:00 pm or so, work tends to slow done. Thomas noted concerns about joints being seated correctly later in the day.

Granzow stated to bring the subject back for review next week after he has had the chance to make some phone calls.

Pay estimate for Gehrke is for \$64,385.10, it is not in the claims for this week as Junker was not sure it would be approved.

Motion by Granzow to pay \$64,385.10 to Gehrke for claim, McClellan seconded. All ayes. Motion carried.

7. DD 9 - Discuss, With Possible Action, Legal

A letter was sent to property owner Sailer, and it was picked up on July 16th so we know the letter was received. No response has been received from Mr. Sailer, however that does not mean he is for/against the easement. Gallentine stated that CGA has a ROW acquisition agent on staff if Trustees would like CGA to work on obtaining the easement, and noted that the project could not go to bid letting until an easement agreement was reached. Gallentine gave recent cost examples; for a difficult case, costs were about \$6,000, and for less difficult cases, costs were about \$2,000, and CGA costs would most likely be less than an attorney.

Granzow stated that he does not believe in eminent domain unless it is the very last option. Granzow requested Junker to send a certified letter that response is needed to Mr. Sailer.

Landowners Tom & Cheryl Roberts asked for an update and if this project would be a reclassification. Granzow stated the plans are done and ready to go out to bid, however we do not want to go to bid until we have a ROW through the Sailer property to put in the tile. They have decided against annexation and will not annex any more land to go into the district to make it larger. They will still reclassify what is in the existing district. The area extends up through George logers, and it was requested to extend Lat 1 through George's land and request was denied. Lat 1 that is inside RR ROW does not have an issue today and it was decided not to extend through George's property as all is working fine now. We are in a holding pattern now until we get ROW through Sailer's property. If Sailer's say no, we may have to go back to original outlet.

Roberts stated he had interaction with Adam Seward regarding trees to be cut, he stated that Seward had removed all small trees/brush but he has not returned yet for any large tree removal or to apply Tordon/growth retardant to small stumps. Roberts was concerned that he initially received a far lesser quote from Seward before Seward realized the County would be paying for the project, and Seward's price to the County was significantly higher. Granzow stated he would ask Seward for more details.

8. Discuss And Review, With Possible Action, Open Ditch Bid Letting

Open Ditch Bids for Brush Control expire at the end of 2019, and Junker noted we have a reminder in the calendar for bid letting notices to be sent in November, with bids due in December. Junkers requested more information on if we have added any new ditches or areas to the list. We also received a request from Joe Harrah to be added to the bid list. B&W Control Specialists have received the bid award since 1993, and we could not find a report for payments for this last bid cycle. Granzow thought he does the spraying once during the 3 year cycle, and he has consistently come in under bid costs. Granzow stated that we should reach out to Gallentine to see if any areas have been added.

- 9. Other Business
- 10. Adjourn Meeting

Motion by Hoffman to adjourn. Second by McClellan. All Ayes. Motion carried.

## DRAINAGE DISTRICT 25 LANDOWNER MEETING 10/09/2019 - MINUTES

### 10/9/2019 - Minutes

### 1. Open Meeting

Hardin County Drainage District Board of Trustee Chairperson, Renee McClellan, opened the meeting. Also present were Trustee Lance Granzow, previous Drainage Clerk, Becca Junker and new Drainage Clerk, Denise Smith. Landowners; Leonard Penning, David Fincham, Denny Beckman, Denny Friest, Kevin Nessa, Leland Coburn, and Contractor Steve McDowell of McDowell and Sons, Mike Marquess attorney for Matt DeSchamp, Contractor Matt DeSchamp and Lee Gallentine with Clapsaddle-Garber Associates (CGA).

2. Approve Agenda

Granzow moved, McClellan seconded to approve the agenda as presented. All ayes. Motion carried.

- Introductions/Attendance Introductions were made and attendance verified.
- 4. Explanation Of Project/Cost

In previous meeting it was presented by Gallentine that there are 2 tiles going under the UPRR track in DD 25, one is private tile and one is district tile. The private tile lies above the district tile, and both are currently 10" clay tile. The district tile has a large cavity/void missing above the tile and there are a couple of small sinkholes developing. Current project permitted work includes replacing the 10" district tile crossing the tracks with a 12" tile at a cost of \$52,195.00.

The options previously discussed were:

1. Proceed per the original plans and offset the drainage district tile form the private tile.

2. Proceed per the original plans and offset the drainage district tile from the private tile but install an 18" tile under the railroad.

3. Remove the private tile and in return place 18" tile throughout the whole of the two 10" tiles.

Option #3 was discussed, if we went up to one 18" casing, which would be equivalent to the two 10" lines, costs go up by an additional \$25,605.00, which is in addition to the original cost of \$52,195.00. Total cost would be \$77,800.00. Granzow expressed concerns that the original 10" landowner tile would collapse and need eventual addressing anyway, so the 18" would address that issue. Both the private and district tile would utilize the 18" crossing then outlet back into both tiles. No reclassification would be needed.

### 5. Comments/Discussion

The costs of how this would be assessed were discussed. Kevin Nessa expressed concerns that costs should be assessed to those on the upper side of the crossing as it benefits them directly. Granzow stated that the \$52,195.00 would be assessed to the district and the additional \$25,605.00 would be assessed to those above the crossing as it benefits them directly. The private and district tiles would utilize the same 18" crossing and would then outlet to both tiles again. Granzow stated that we will use topography to determine assessment to those on the topside of crossing.

Granzow requested clarification from the landowner as to how they would like to proceed.

Gallentine stated that permits would need to be updated with the railroad. McDowell stated that work could not proceed until updated permit was granted. Gallentine recommended having the Attorney reach out to the Railroad as they make quicker headway with the Railroad. It was unclear whether existing permit could be updated or if a new permit would be needed. This may delay work until possibly next year while waiting on permit.

Granzow stated if we go forward with the 12" tile as it is permitted now, that if it needs addressed in the future, costs would be higher as it would be a whole new project which would incur additional costs. Coburn and Nessa agreed they were willing to accept costs and needed the outlet, as situation would not get better as existing tiles are 100 years old. It was agreed that although this may prolong the process it was the best choice. Granzow noted that this is a one time expense for this crossing and everyone on the topside understands that, all three landowners agreed (Fincham, Coburn, Friest).

District tile east of the tracks still needs to be televised and evaluated, and based on evaluation it may be replaced. What they have seen so far looks pretty good. That process will continue regardless of what happens with the crossing, weather delays may be expected. Fincham wants holes repaired this fall, McDowell says he will fill holes as soon as televising is done. A change order will have to be made with a estimated completion date in the future, to be updated when new permits are acquired.

Junker asked how attorney fees should be split in the future, McLellan expressed that Gallentine has dealt with the attorneys and can direct them how to split fees.

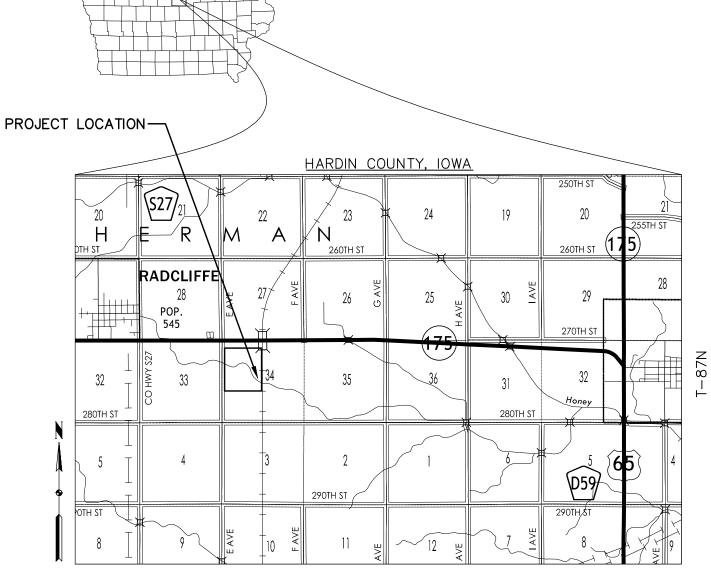
Friest asked how assessment would affect those with in-town lots in Garden City, Granzow said he would have to look at classification on those lots, it would most likely be assessed at the minimum \$5.00 per lot.

6. Possible Action

Motion by Granzow to approve going to the up-sized 18" tile for the crossing, directing Gallentine to work with attorneys to get permits, get assessment splits to all on the upper side of the crossing per topography. Seconded by McClellan. All ayes. Motion approved.

- 7. Other Business
- 8. Adjourn Meeting Meeting adjourned.

# CREP WETLAND PROJECT HAR872234 HARDIN COUNTY, IOWA



R-22W

	SHEET INDEX
SHEET	DESCRIPTION
A-1	TITLE SHEET
A-2	PROJECT INFORMATION AND QUANTITIES
R-1	EXISTING CONDITIONS & REMOVALS
C-1	PROJECT OVERVIEW
<u>C-2</u>	EMBANKMENT PLAN & PROFILE
C-3	PRIMARY SPILLWAY PLAN & PROFILE
C-4	DRAWDOWN PLAN & PROFILE
C-5	SEDIMENT FOREBAY PLAN
T-1	TILE 1 PLAN & PROFILE
T-2	TILE 2 PLAN & PROFILE
T-3	TILE 3 PLAN & PROFILE
T-4	TILE 4 PLAN & PROFILE
S-1	DRAWDOWN STRUCTURE DETAILS
S-2	SHEETPILE DETAILS
<u>P-1</u>	SEEDING PLAN
D-1	DETAILS

PROJECT PARTNERS



#### GENERAL NOTES

IOWA

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR OF THE CONTRACTOR TO NOTIFY THE OWNER OF THESE UTILITIES BY CALLING IOWA ONE CALL (1-800-292-8989) AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE RECORDS AND SURVEYS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.





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I hereby certify that this engineering document was prepared by me or under movidizers near-oral supervision and #hotel and wide	licensed Professional Engineer under the laws of the State of lowa.	Mathin Chrolinson-	Nathan W. Anderson	License number 18920 Mv license renewal date is December 31, 2017	Pages or sheets covered by this seal:			
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# ESTIMATED QUANTITIES OF WORK AND LIST OF SPECIFICATIONS

SITE CHARAC	TERISTICS	
Project ID	Har872234	
Preliminary or Final Design	Final	
Drainage Area	1893	Acres
Wetland Pool Area	15.5	Acres
Deep Water Area (>3 ft deep)	1.8	Acres
Normal Pool Elevation	1136	Feet
Average Pool Depth	1.9	Feet
Maximum Pool Depth	9	Feet
Pool Storage	30.7	Acre-Feet
Berm Elevation	1142	Feet
Berm Storage	210	Acre-Feet
Length of Berm	511	Feet
Auxillary Spillway Elevation	NA	Feet
Auxillary Spillway Width	NA	Feet
Weir Width	60	Feet
Drop Height	7	Feet
Time of Concentration	4.6	Hours
Weighted Runoff Curve Number	88	
25-year Storm Design Inflow	1387	CFS
100-year Storm Design Inflow	1928	CFS
100-year Flood Surface Elevation	1140.9	Feet

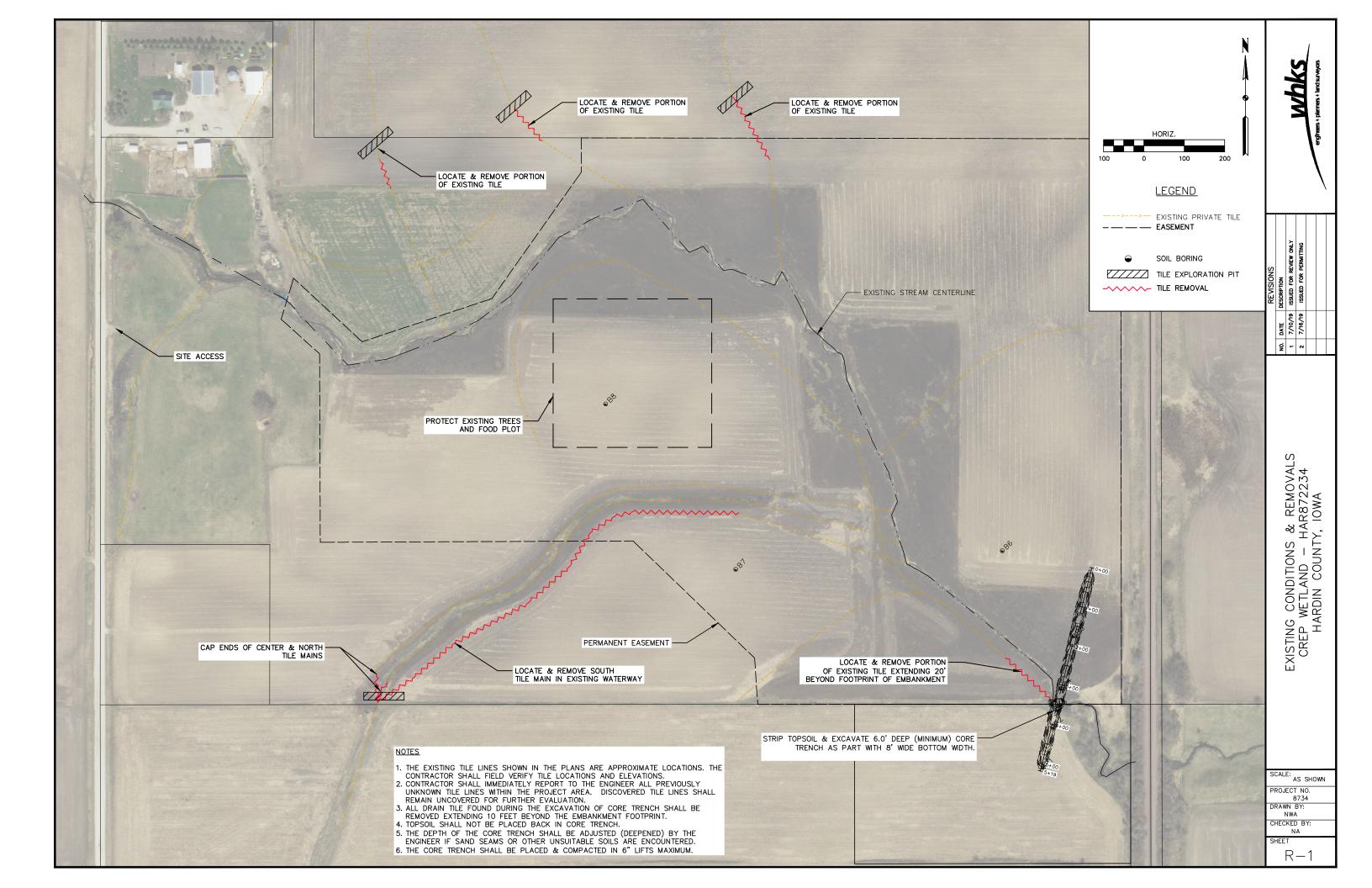
\* PRINCIPAL SPILLWAY DESIGN STORM (24-HOUR) \*\* AUXILIARY SPILLWAY DESIGN STORM (24-HOUR)

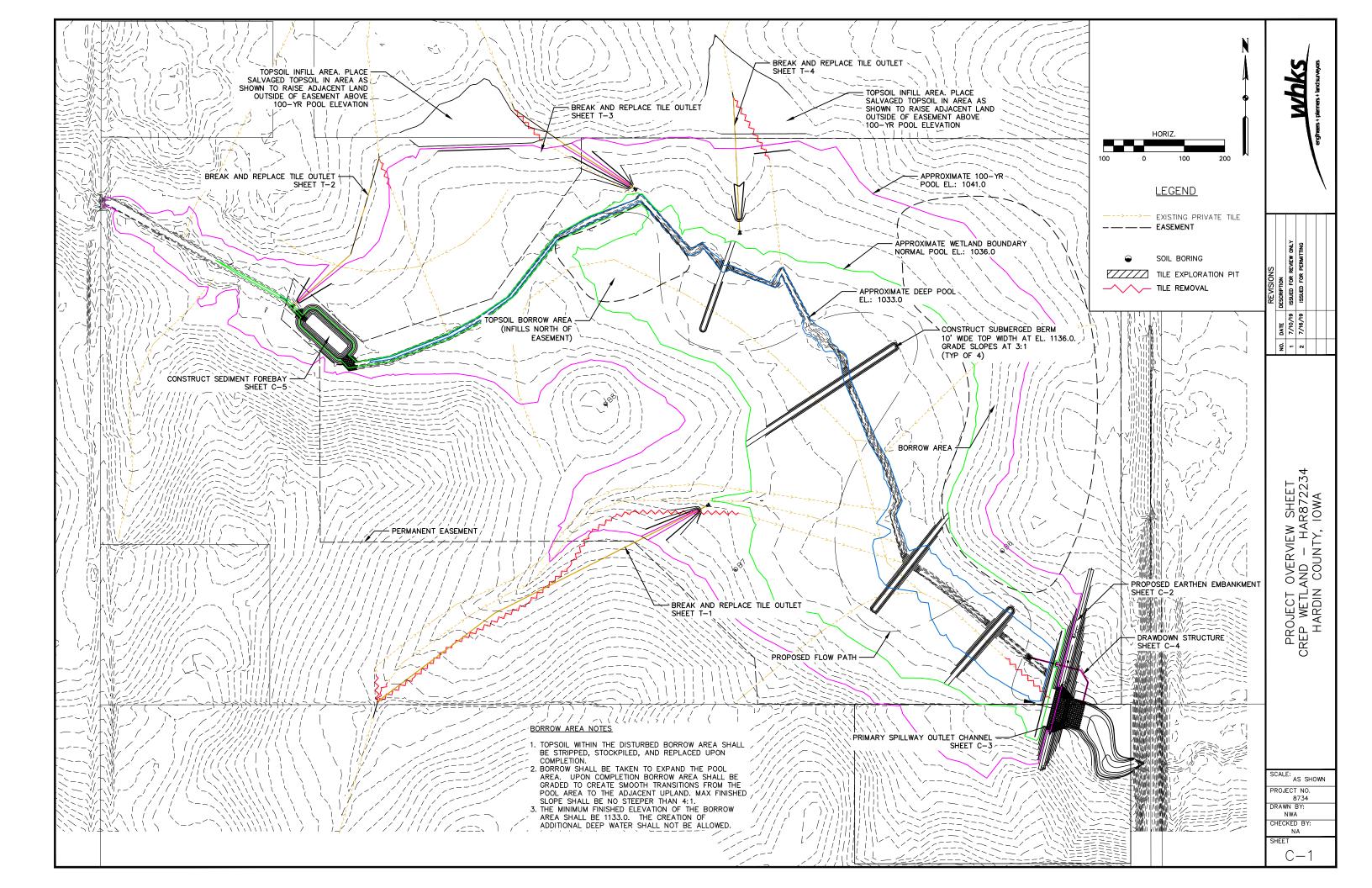
# EARTHWORK BALANCE SUMMARY

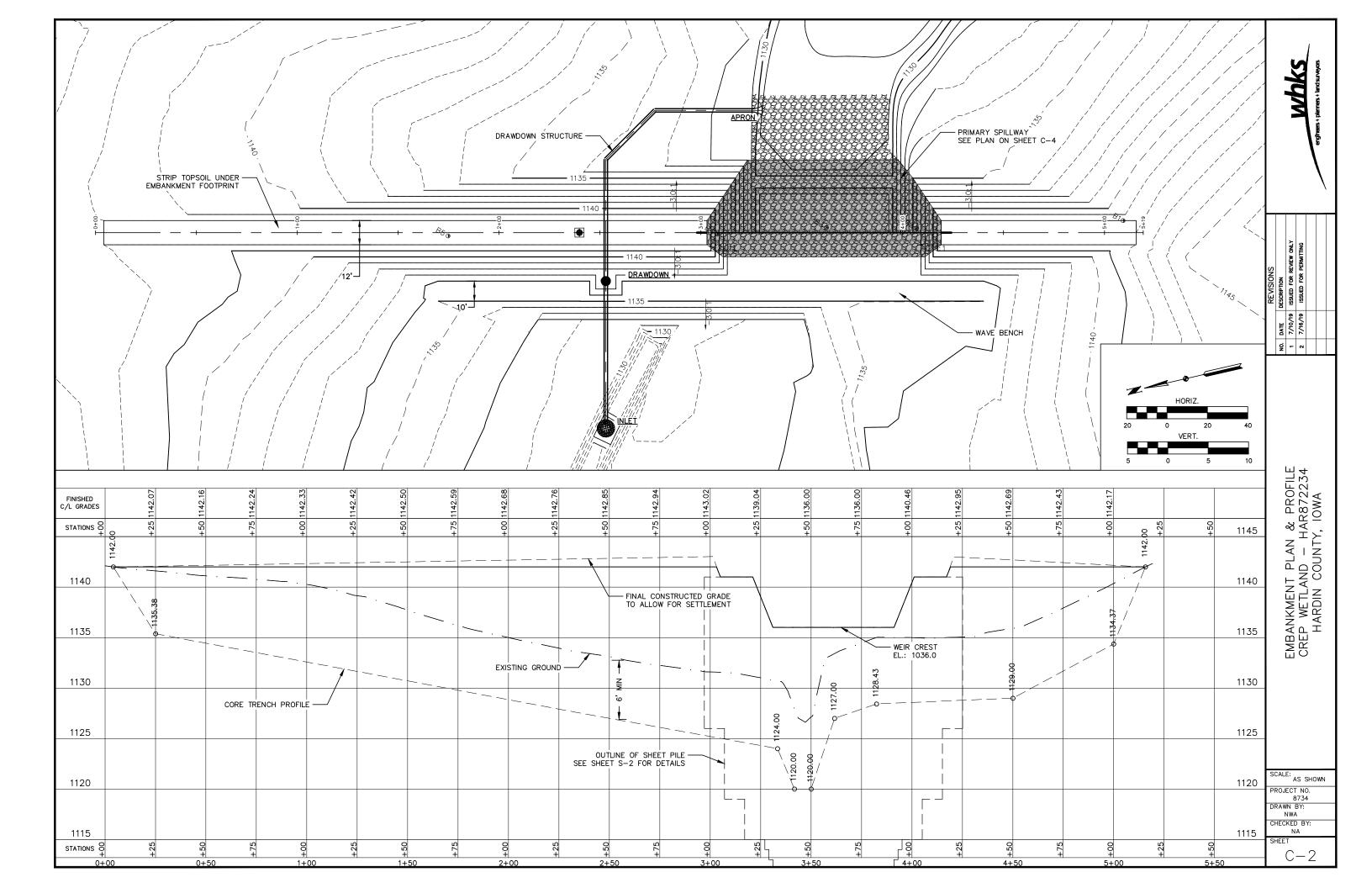
ltem	Cubic Yards	Comment
Unadjusted Embankment	8,600	Core + Berm + Internal Diversions (Compacted Fill)
Shrinkage Factor	1.2	Assumed
Adjusted Embankment	10,320	(8600*1.2) Material Requiring Compaction to Specification
Non Borrrow Excavation	2,900	Interior cuts (sediment basin & channel) + Core Core material gets recompacted in trench. Use other cuts to form interior diversions as this material is not suitable for embankment
Topsoil Stripping	4,100	Assumed 24" thick. Majority of stripped topsoil used for infills on north side (~2,500 CY) with remainder used to minimally cover embankment, tile overs, and other disturbances. Excess topsoil to be spoiled on infills. Does not include topsoiling for borrow areas. Borrow area topsoiling is incidental
Misc. Fill	950	Minimal Compaction (tile cover)
Balance	8,370	(10,320 + 950) - 2,900 (Borrow)

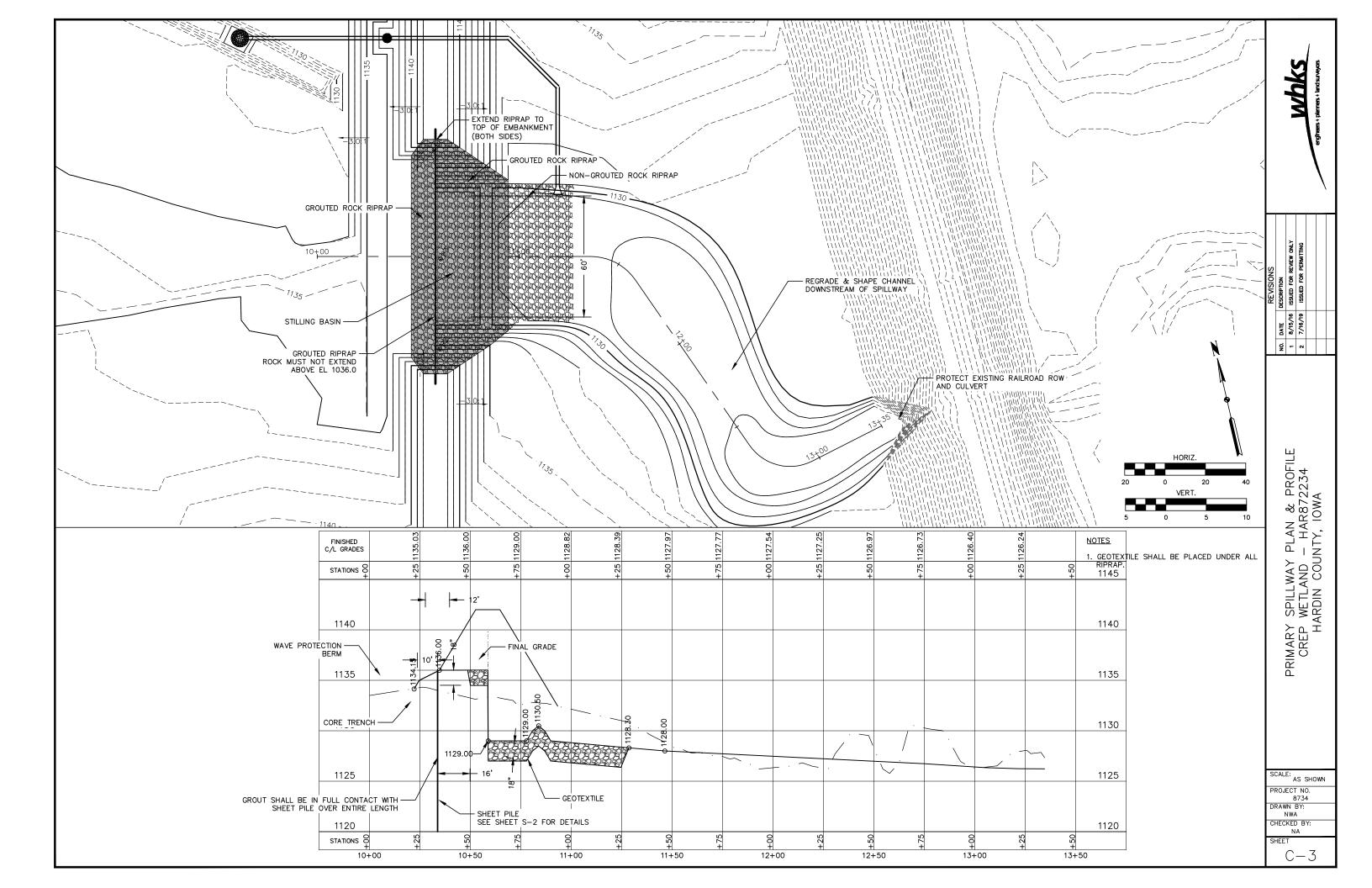
ITEM	DESCRIPTION	SPECIFICAITON	UNIT QUANTITY	UNIT
1	SITE STRIPPING	IA-1	1	LS
2	CLEARING AND GRUBBING	IA-1	1	AC
3	STRUCTURE AND CHANNEL SEEDING	IA-6	2	AC
4	BUFFER SEEDING - NEW	IA-6	15.5	AC
5	BUFFER SEEDING - EXISTING	IA-6	9.6	AC
6	MOBILIZATION	IA-8	1	LS
7	DRAIN TILE INVESTIGATION & REMOVAL	IA-9	1	LS
8	SHEET PILING	IA-13	2870	SF
9	EXCAVATION (P)	IA-21	10320	CY
10	EARTHFILL (P)	IA-23	10320	CY
11	TOPSOILING (P)	IA-1	4100	CY
12	CORRUGATED PE TILE - 8"	IA-9	1060	LF
13	CORRUGATED PE TILE - 12"	IA-9	929	LF
14	CORRUGATED METAL PIPE - 18"	IA-51	220	LF
15	CMP DRAWDOWN STRUCTURE	IA-51	1	EA
16	CMP RISER INLET STRUCTURE	IA-51	1	EA
17	CMP STOP LOG STORAGE STRUCTURE	IA-51	1	EA
18	CMP TILE OUTLET - 8"	IA-51	60	LF
19	CMP TILE OUTLET - 12"	IA-51	20	LF
20	RIPRAP	IA-61	1050	TON
21	CONCRETE GROUT FOR RIPRIAP	IA-62	200	CY

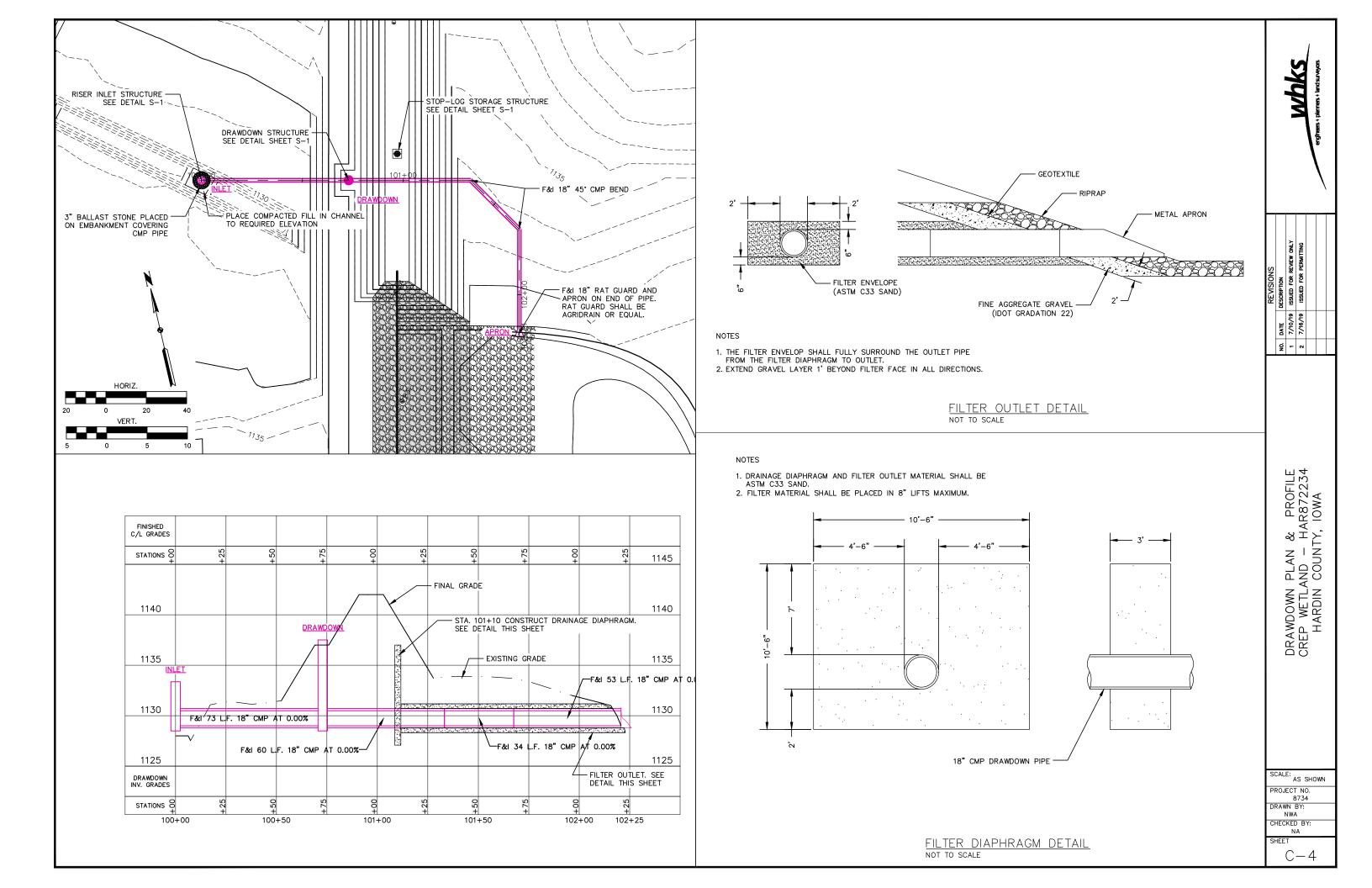


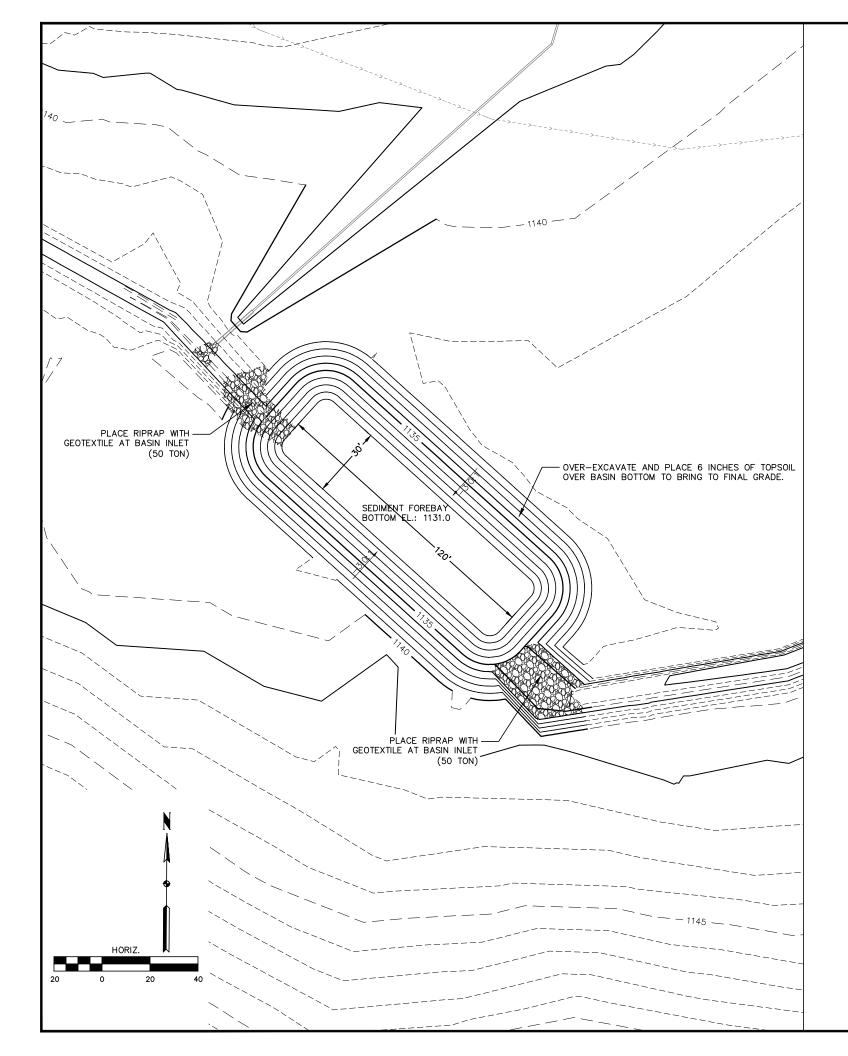




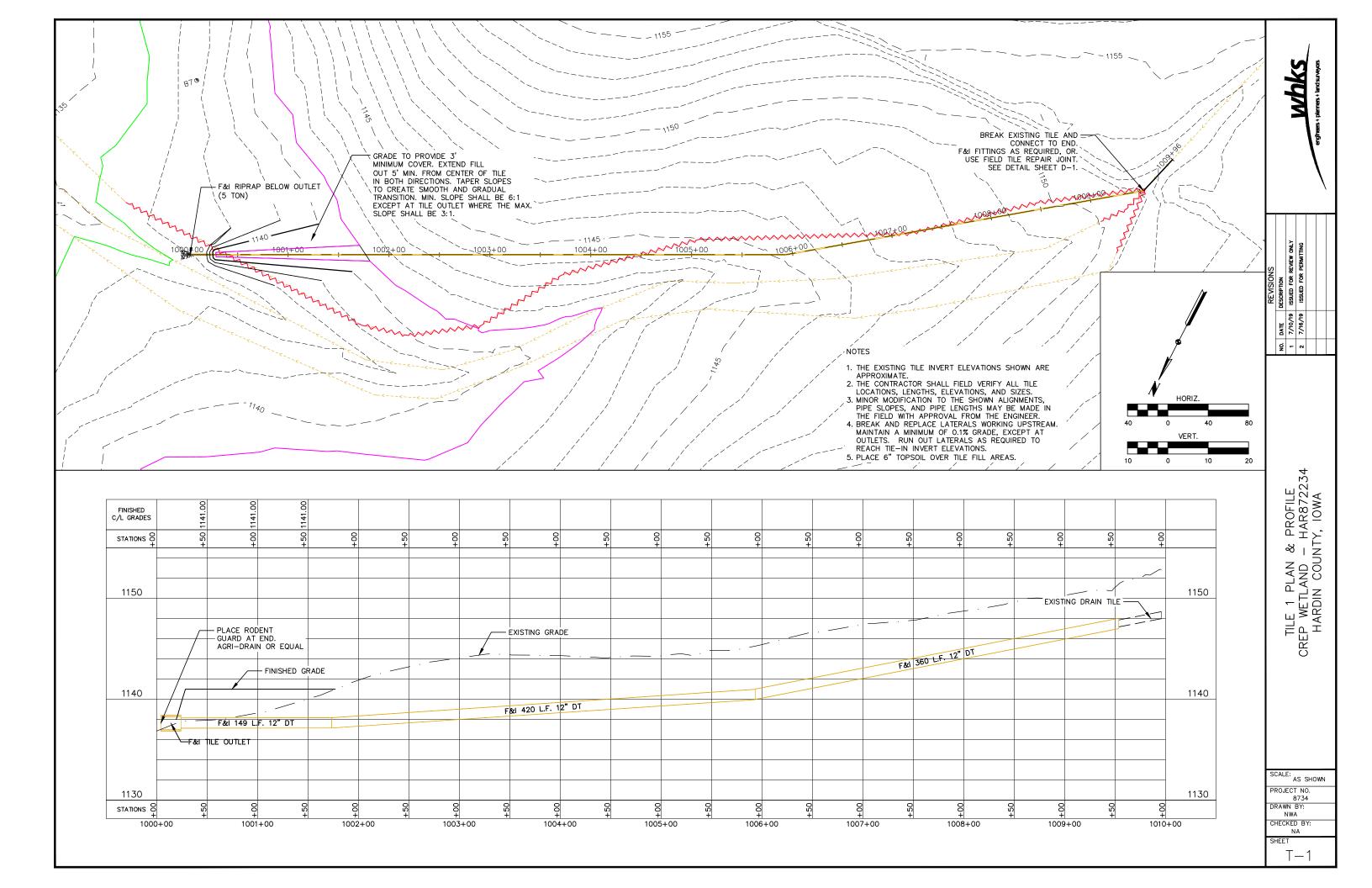


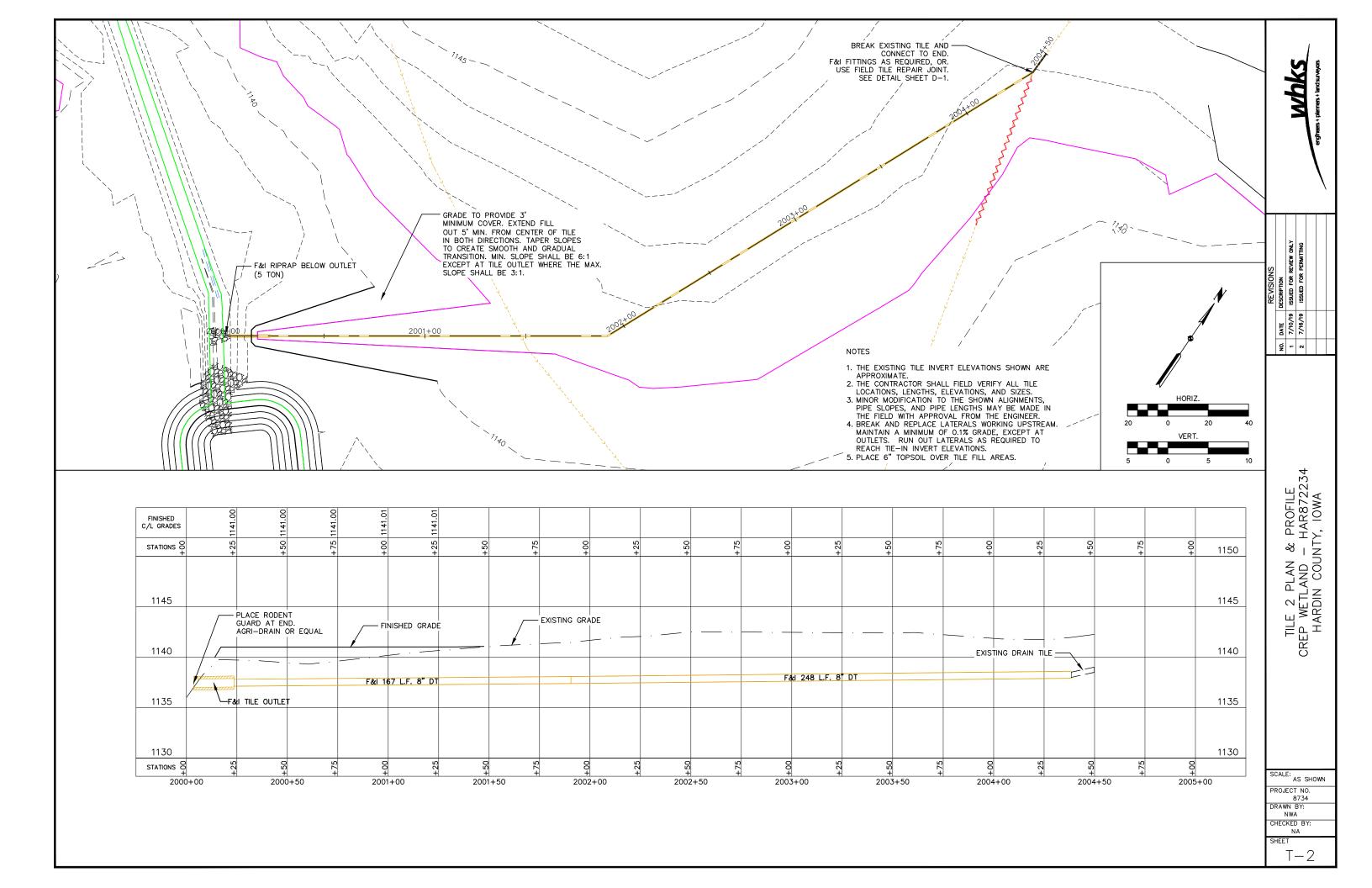


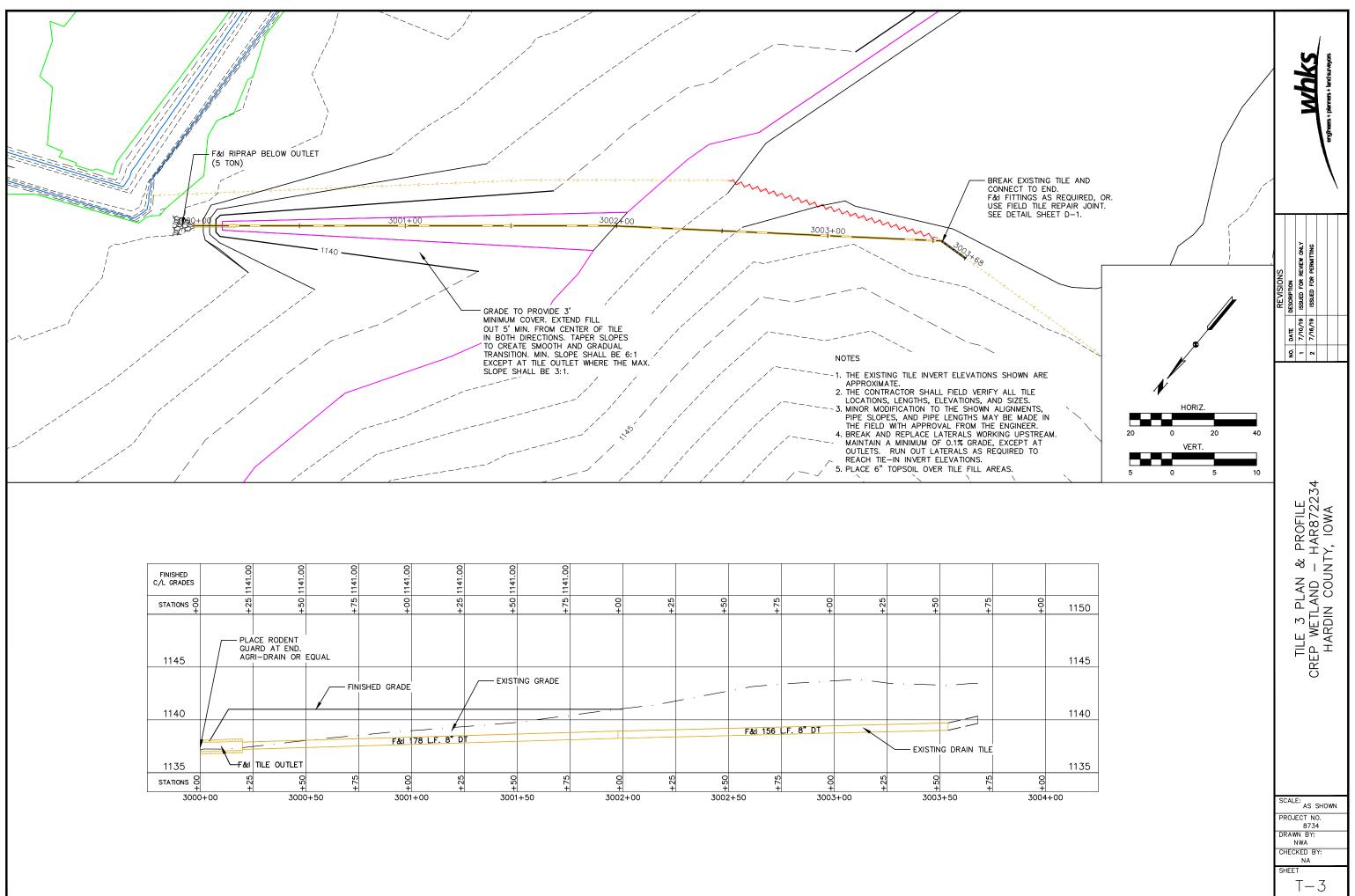


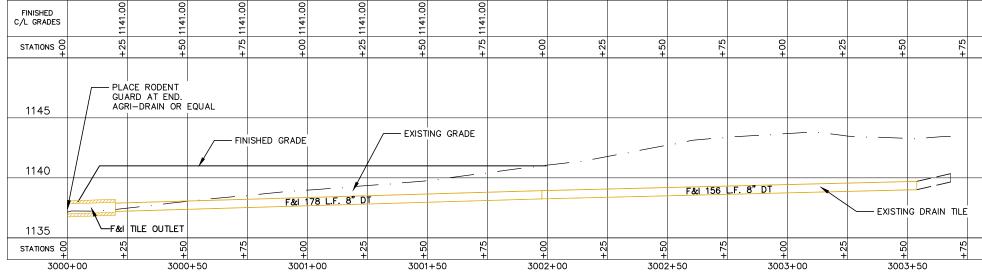


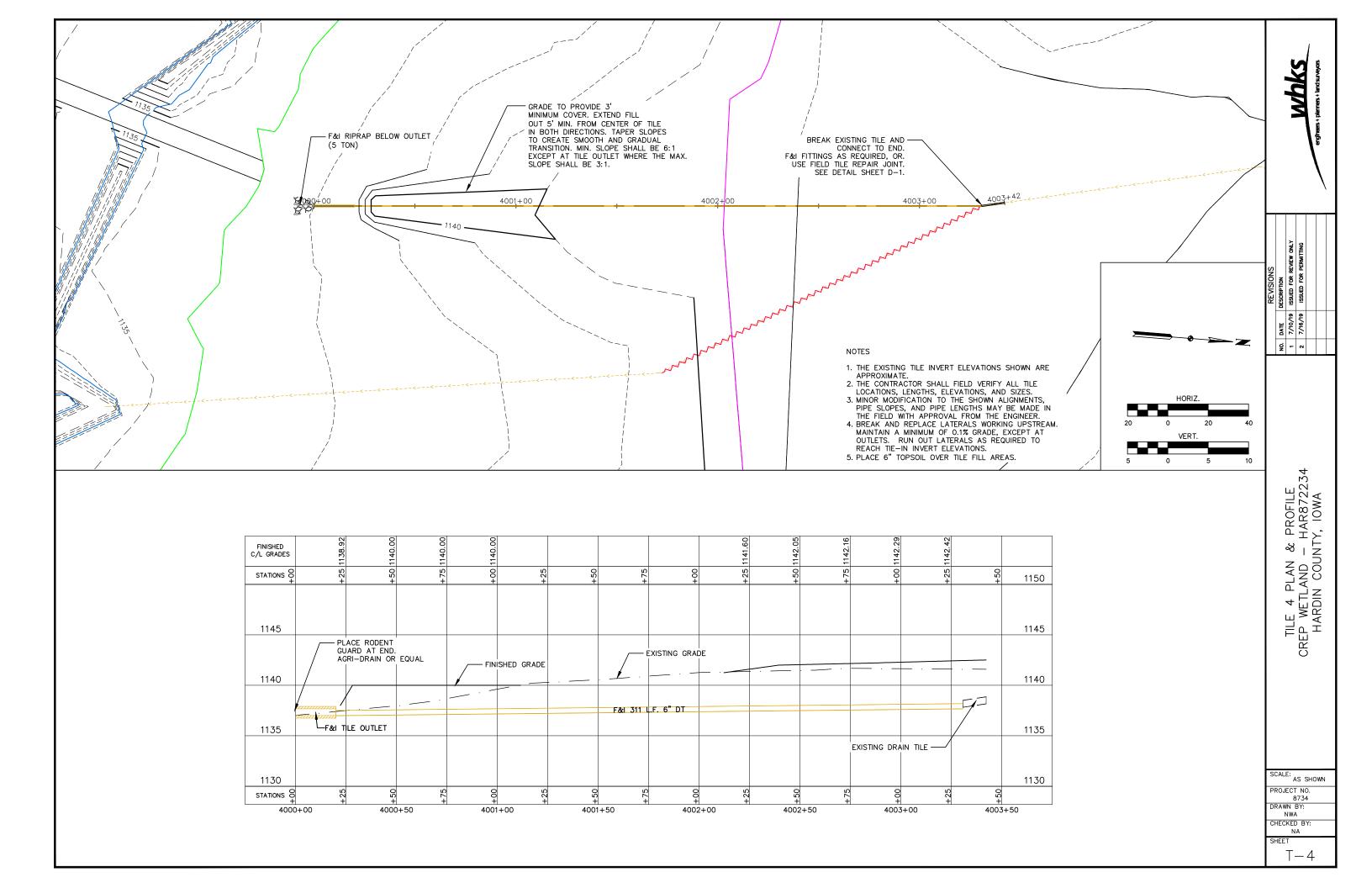
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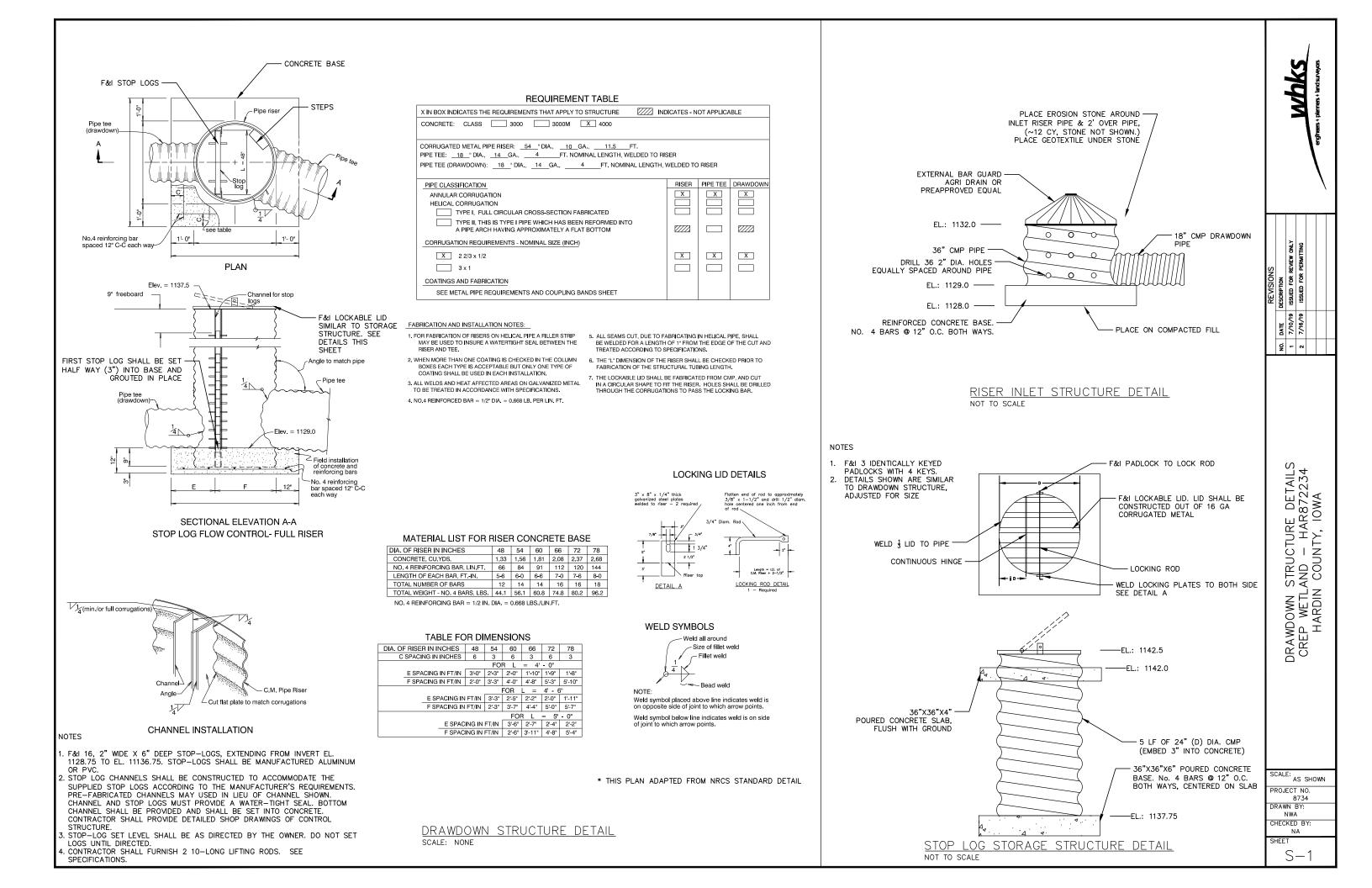


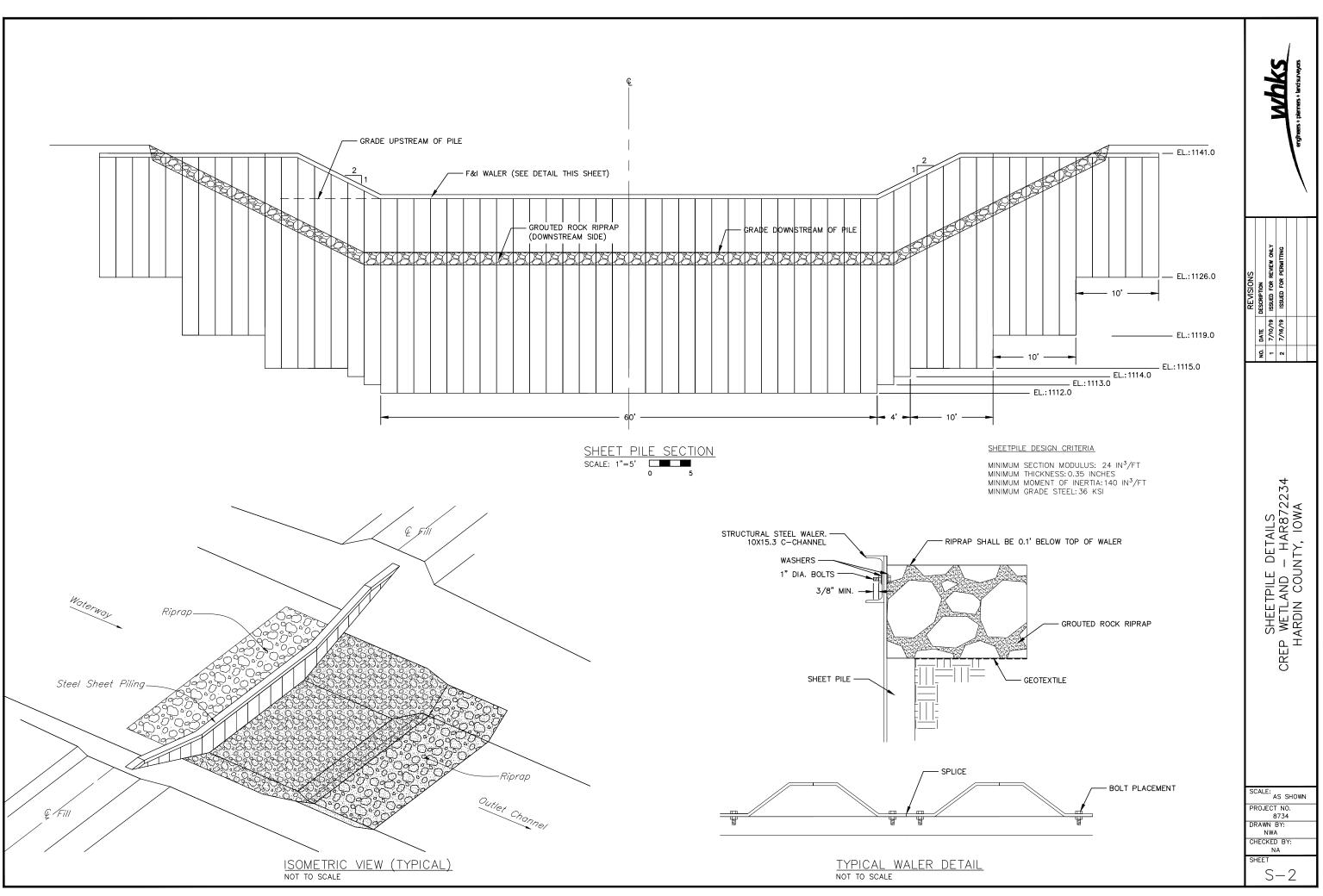


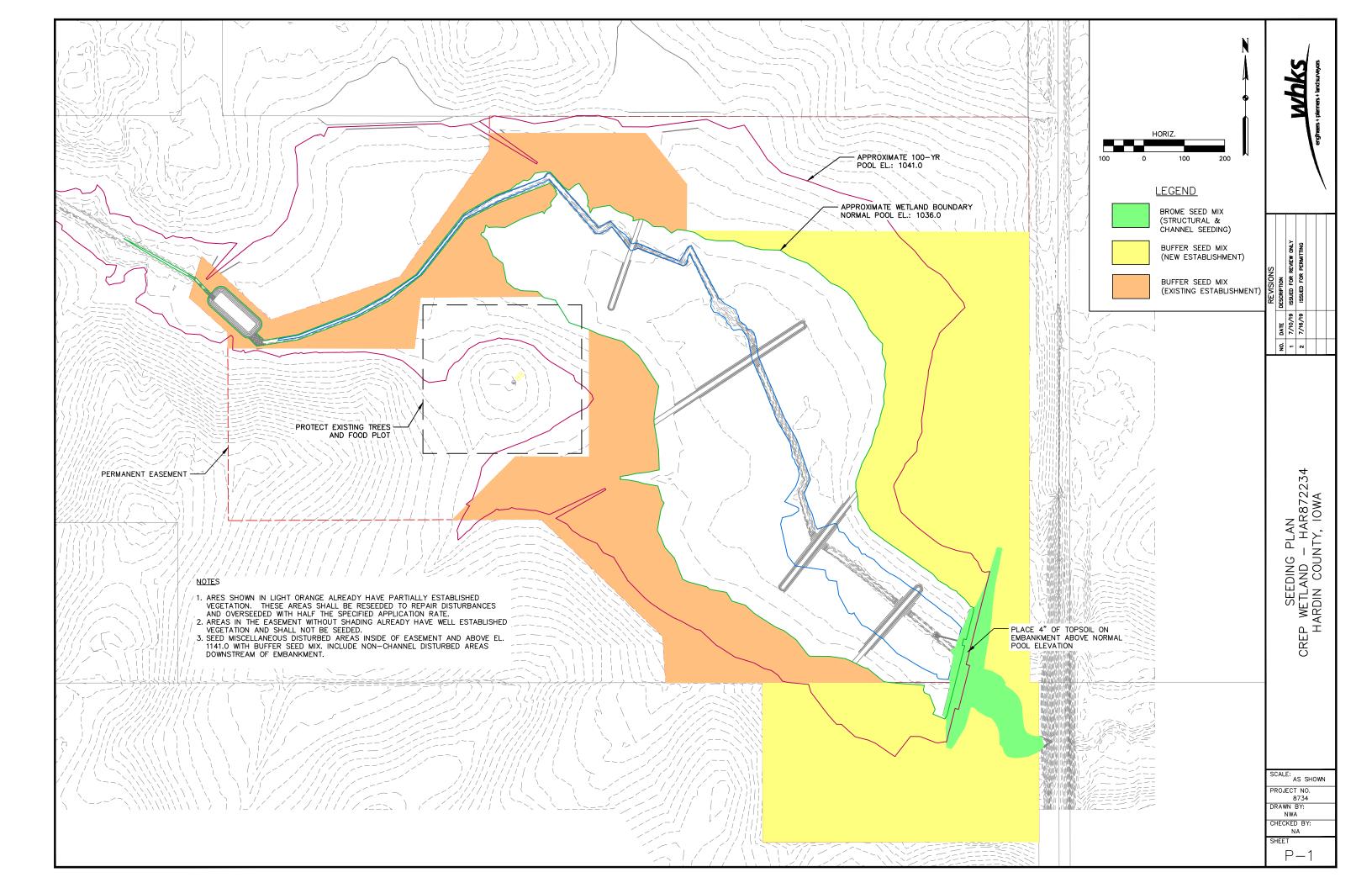


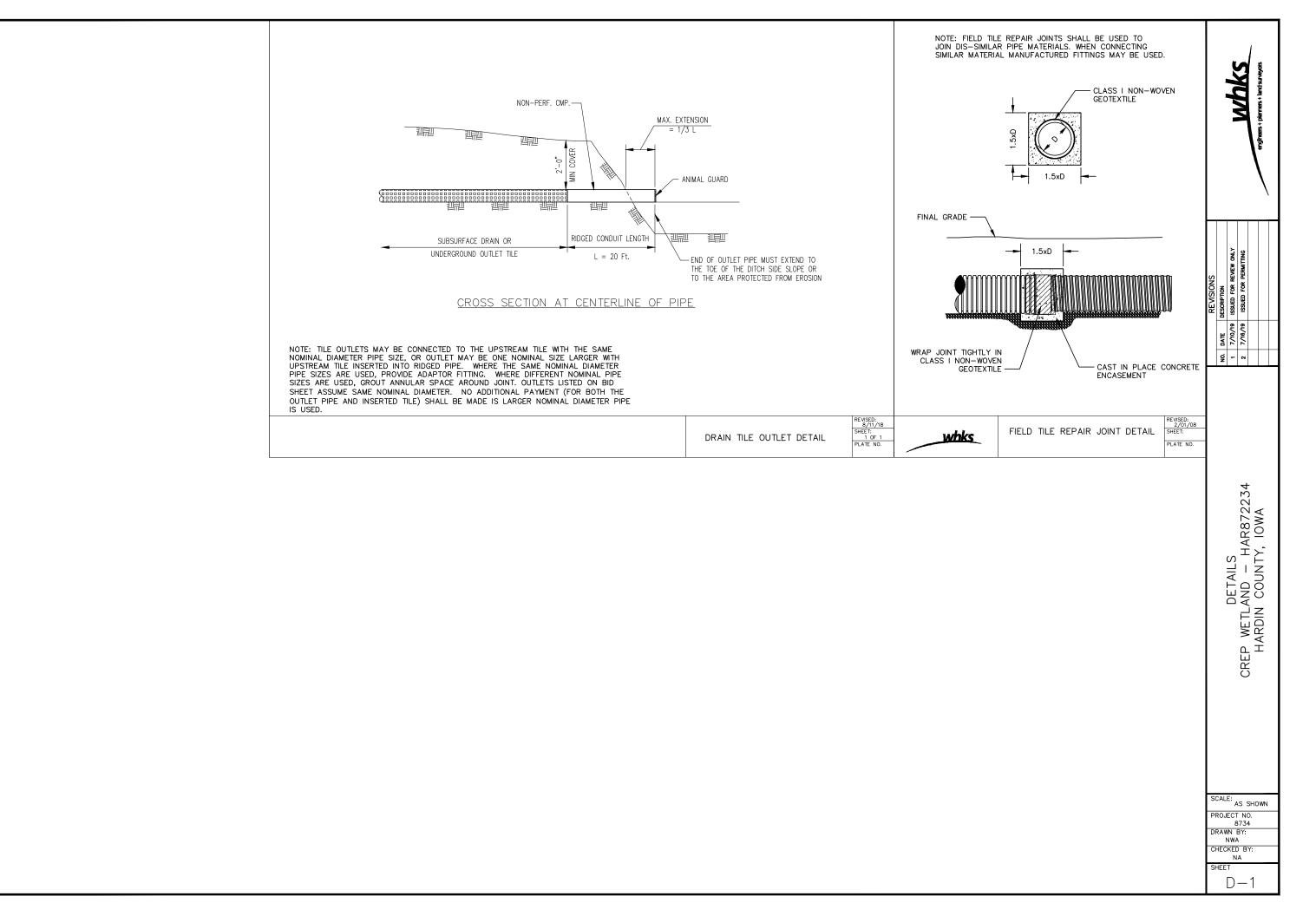












# **Denise Smith**

From:Becca JunkerSent:Friday, October 11, 2019 10:27 AMTo:Denise SmithSubject:FW: Another Wetland Project in Hardin CountyAttachments:Har872234B Permitting Plans.pdf

From: Bourland, Mike <Mike.Bourland@Iowaagriculture.gov>
Sent: Thursday, October 10, 2019 3:31 PM
To: Becca Junker <BJunker@hardincountyia.gov>
Subject: Another Wetland Project in Hardin County

Hi Becca

Attached is a set of plans for a wetland project in Hardin County. It is located in Drainage District 55 and Joint District 55 and 3 on the north side. We are wanting to make modifications to the tile as shown on the plans to daylight them into the wetland for nitrate reduction. The landowners have agreed to this project and we are wanting to get approval from the County to proceed with this project and plan to bid this project for construction in February 2020. Please let me know what we need to do at this time. Thanks for your help.

Also, when you get a chance, can you forward the meeting minutes to me for the other wetland project in Hardin County with Steve Perry. Thanks.

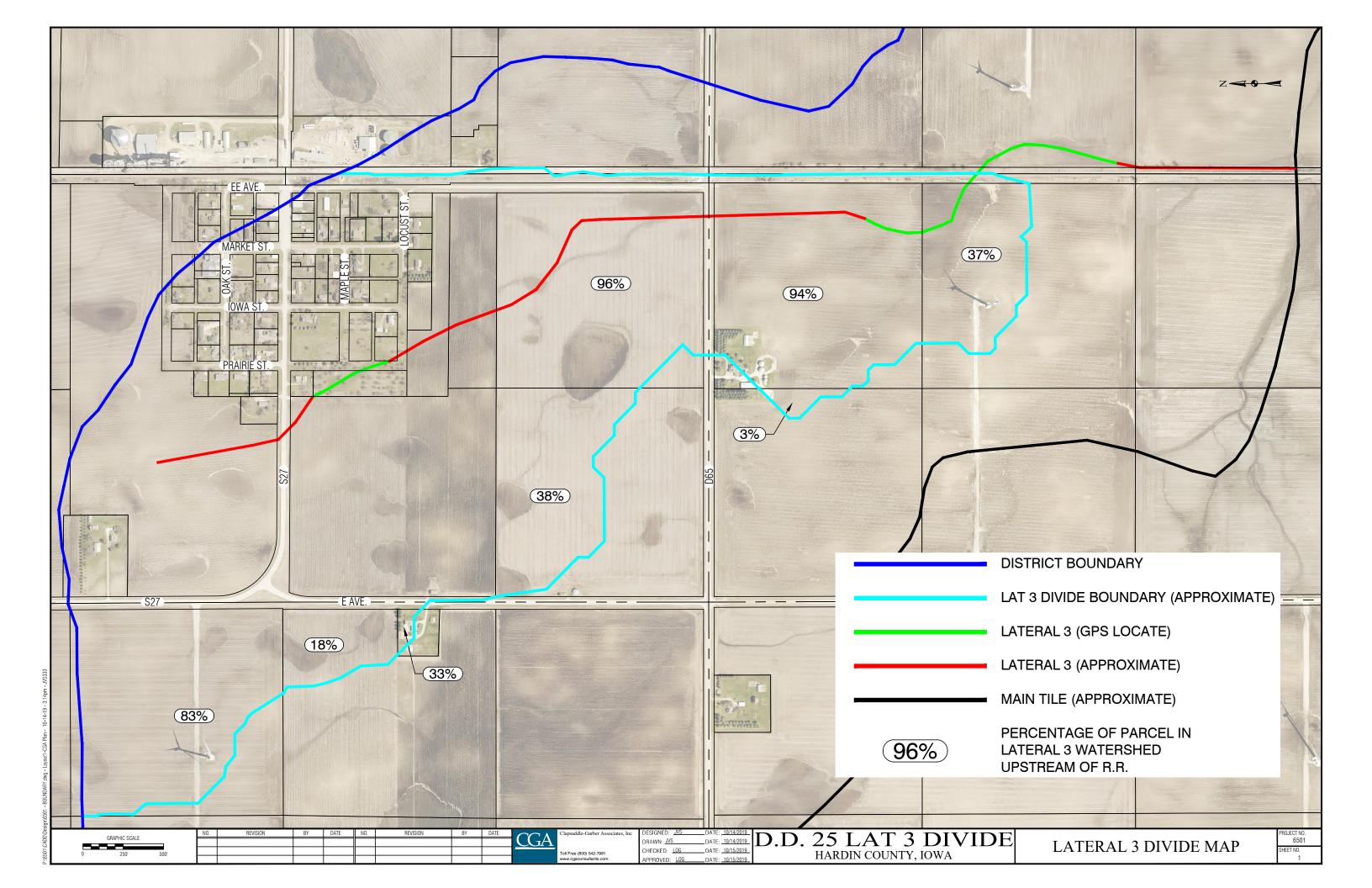
# Michael L. Bourland, P.E.

Senior Environmental Engineer



Wallace State Office Building 502 E. 9<sup>th</sup> St. Des Moines, IA 50319

Phone: (515) 242-6130 Mike.Bourland@IowaAgriculture.gov



# **Denise Smith**

From: Sent: To: Subject: Attachments: Lee Gallentine <LGallentine@cgaconsultants.com> Tuesday, October 15, 2019 3:30 PM Denise Smith; Becca Junker DD 25 - Lateral 3 6501 - Lat 3 and Main split.pdf

Denise and Becca,

Per the District Trustees' request at the last drainage meeting, we have developed the attached map that shows the % of area of individual parcels within the Lateral 3 watershed. Please note that this map is not comprehensive as any parcels that were obviously 100% within the Lateral 3 watershed, we did not label. Just let me know if you have any questions or need anything else.

Thanks,

Lee O. Gallentine, PLS & PE Vice President



Clapsaddle-Garber Associates, Inc. (CGA) 739 Park Avenue Ackley, Iowa 50601

Office:641-847-3273 Mobile: 515-689-5339 Igallentine@cgaconsultants.com www.cgaconsultants.com

Ackley | Ames | Cedar Falls | Marshalltown | Webster City

CLICK HERE to sign up for CGA news and updates!



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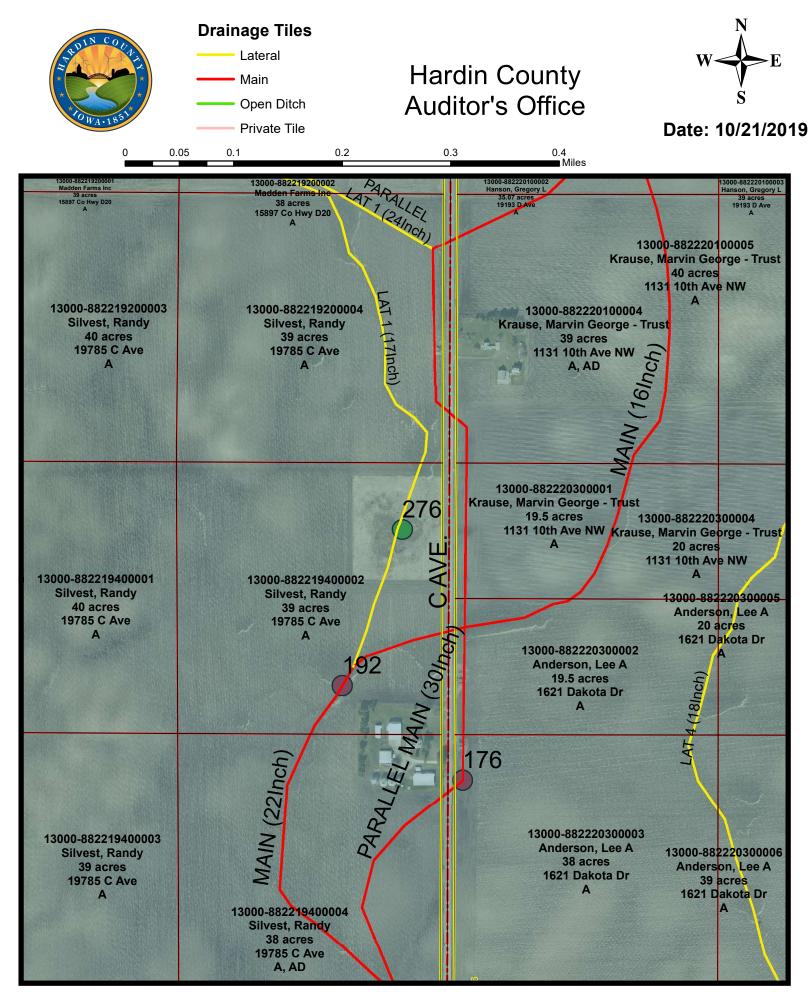
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# Drainage Work Order Request For Repair Hardin County

Date:	10/21/2019	
Work Order #:	WO0000276	
Drainage District:	DDs\DD 22 (51045)	
Sec-Twp-Rge:	<u>19-88-22</u> <b>Qtr Sec:</b> <u>NE1/4</u>	
Location/GIS:	88-22-19-400-002	
Requested By:	Randy Silvest	
Contact Phone:	(641) 640-0171	
Contact Email:		
Landowner (if different):		
Description: Repair labor, materia	DD 22 Lat 1 - Randy Silvest stopped in to report directly north of his house. He reports the sinkh in center of wetland area, Lat 1 runs directly thr reports the sinkhole. He reports the sinkhole is was mowing this past week. He requests furthe and to be contacted by Engineer.	ole is 6' to 8' across and 3' deep ough this wetland where he dry and was discovered while he
Repaired By:		Date:
Please reference wor	k order # and send statement for services to:	Hardin County Auditor's Office Attn: Drainage Clerk 1215 Edgington Ave, Suite 1 Eldora, IA 50627 Phone (641) 939-8111 Fax (641) 939-8245
		Date:
••		



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# Drainage Work Order Request For Repair Hardin County

Date:	10/29/2018	
Work Order #:	WO0000231	
Drainage District:	Drainage Districts \DD 38 (51063)	
Sec-Twp-Rge:	15-89-22 Qtr Sec: NE	<u>.</u>
Location/GIS:	89-22-15-200-004	
Requested By:	Justin Huebner	
Contact Phone:	(641) 780-1423	
Contact Email:		
Landowner (if different):		
Description: Repair labor, material	DD 38 Lat 4 - Water standing SW of hog building except 15 acres under water. Would love to have & could have a contractor out there in 2 days. Pl s and equipment:	e it fixed right away to finish harvesting ease call when going to be out.
Repaired By:		Date:
	order # and send statement for services to:	Hardin County Auditor's Office Attn: Drainage Clerk 1215 Edgington Ave, Suite 1 Eldora, IA 50627 Phone (641) 939-8111 Fax (641) 939-8245
For Office Use Only		
Approved:		Date:



# **Drainage District:**

#38 Lat 4

## **Repair Summary:**

- Per the recommendations of the previous investigation summary:
  - Excavated Lateral 4 tile in road ditch of 120<sup>th</sup> Street and jet cleaned tile upstream to remove sand/silt.
     Continued jet cleaning until reaching sinkhole/blowout. Removed approximately 3 tons of sand/silt that was restricting drainage in Lateral 4 tile.
  - During initial investigation, holes were cut into existing 15-inch VCP tile to gain access. Most of these were repaired with partial 15-inch dual wall HDPE collar and engineering fabric patches. 1 required a full repair of cracked/broken 15-inch VCP tile with 15-inch dual wall HDPE, 1-inch bedding/backfill rock, and concrete collars at connections. 1 inspection hole did not require repair, as 15-inch VCP tile was originally rolled out intact. So, rolled original VCP tile back into place and wrapped joints with engineering fabric. All inspection excavations were backfilled with on-site soil.
  - Blowout/sinkhole had saturated sandy base which required installing 3-inch rock for a subbase before starting repair. Repaired tile with 15-inch dual wall HDPE, 1-inch bedding/backfill rock, and concrete collars at connections. Backfilled with on-site soil and 3 tons of sand/silt removed by jet cleaning.
- During work to the Lateral 4 tile, upstream landowner (to south) reported a wet spot on the south side of the fenceline. Located Lateral 4 tile (12-inch VCP with 1" of sand in flowline) and determined that it is approximately 50' to 75' away from wet spot. Repaired with 15-inch dual wall HDPE, 1-inch bedding/backfill rock, and wrapped joints with engineering fabric.
- After work to Lateral 4 tile, upstream landowner (to south) reported additional wet spots in field on the south side of the fenceline. Visually observed site and found that there are wet spots in field, but none of them appear to be directly over assumed Lateral 4 tile route, there are no intakes in field at issue, and fields to south which are lower and have intakes appear to be dry.

# Contractor Time and Materials (spent while CGA was on-site):

See attached Tabulated Contractor Time and Materials Sheet.

# Additional Actions Recommended:

The Lateral 4 tile appears to be draining at this time. If poor drainage is reported along the Lateral 4 tile route again, it may need to be excavated at intervals to verify the cause. If restricted drainage is due to plugging by sand/silt again, it is recommended to investigate replacing portions of the tile with dual wall HDPE or dual wall polypropylene wrapped in a fabric sock with rock bedding/backfill to prevent sand/silt infiltration.



Totals	3/28/2019	3/29/2019	4/26/2019	4/30/2019
57.25	20.25	6	21	7
20.25	6.75	3	7	3.5
9.75	6.75	£		
9.75	6.75	3		
24			24	
1			1	
3			3	
4			4	
3.50				3.5
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Tabulated Contractor Time and Materials



	CONSTRUCTION ENGINEERING OBSERVATION REPORT DATE: DAYS OF WEEK: PROJECT NUMBER: COUNTY, ROUTE, ROAD: DOBE LATY H. LOCATION: JEETH AND D. AVE DESCRIPTION OF WORK AND MATERIAL USED FOR EACH OPERATION, IN NAME, ITEM NO. AND LOCATION SUMMY, 65°, CAMM, deuma Co Areaura C 125 TH AND D. AVE STEEL RISER IN SE QUAD, FIELDS PARE PLSO deu INI AL QUAR 3 SMOLL WET AREAS STRUCK WITH UNTER, TOTAL 1-2 AREAS TO UNDER WORTH, THE TILE MUST BE WORKDAG, EURAL IF SLE OF THE, COL A PERSON THEODIC WITH OF BE LURCONG A COL THEEL COL A PERSON THEODIC WAT MIGHT BE LURCONG A COL THEEL COL A PERSON THEODIC WAT MIGHT BE LURCONG A COL THEEL COL A PERSON THEODIC WAT MIGHT BE LURCONG A COL THE COL A PERSON THEODIC WAT MIGHT BE LURCONG A COL THEEL COL A PERSON THEODIC WAT MIGHT BE LURCONG A COL THEEL COL A PERSON THEODIC WAT COL THEEL COL A PERSON THEODIC WAT COL THEODIC WAT COL THEODIC WAT COL THEODIC COLOR A COL THEODIC COLOR ACCOUNTS ACCOUN	MU MU MU MAL	TIONS SW QUAD, AND A day ESCEPT NW QUAD, , SO IF 18 AGRES WAS CLEPENDING ON TOUTE WHAT COULD IMPROVIES
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			12572
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8	Other BERNINE day	1	<u> </u>
	I Certify that the work described in this report was incorporated into this contract unles	ss oth	erwise noted.
	Observer's Signature: Date Prepared:	5	/13/19
	Reviewed by:		Date Reviewed

Users\Ryken Standard Forms and Procedures\Company Forms\Construction Engineering Observation Report (1)

# DRAINAGE DISTRICT # 38 MINUTES

### April 25, 2018

Granzow moved, McClellan seconded to approve the 2018 drainage assessments as presented. All ayes. Motion carried.

District	Fund#	Amount	Needed	Amou	nt Levied	% Levied	Waivers
DD 38	5106	3 \$	139.01	\$	1,500.00	13.024%	10 Year

### October 31, 2018

DD 38 - Approve Work Order Request #231

McClellan moved, Hoffman seconded to approve Work Order Request #231 for water standing in the SE NE 15-89-22. CGA is to hire a contractor to get the water flowing. All ayes. Motion carried.

### November 14, 2018

DD 38 - Discuss, With Possible Action, Investigation Summary For Work Order #231 Gallentine presented the investigation summary for the standing water in 15-89-22. The landowner does not have the contractor available to start right away as originally suggested. Granzow moved, McClellan seconded to either assign the work via lottery system or lump with other projects, if possible, under a contract. All ayes. Motion carried.

### December 12, 2018

McClellan moved, Granzow seconded to approve the claims for payment with pay date of Friday, December 14, 2018. All ayes. Motion carried. DD 38 WO 231 ENG SVCS TO 11/23 Clapsaddle-Garber Assoc \$ 592.55

## January 16, 2019

DD 38 - Discuss, With Possible Action, 2nd Investigation Summary For Work Order #231 Gallentine updated the Trustees that they found approximately 660 feet of 12" tile with 1 to 11 inches of sand in it. They recommend jet/vac clean to remove the sand/silt and allow dewatering of the tile. Once dewatered, they recommend excavation to determine the necessary tile repair. At this time, they believe it should be under the \$50,000 threshold, but will not know until they excavate. Hoffman moved, Granzow seconded to jet/vac clean and then excavate as discussed. All ayes. Motion carried.

## January 23, 2019

Hoffman moved, Granzow seconded to approve the claims for payment with pay date of Friday, January 25, 2019.All ayes. Motion carried.DD 38L4 WO 231 INVESTIGATION 5 HRSWilliams Excavation LLC\$ 1,870.00

## March 6, 2019

Granzow moved, Hoffman seconded to approve the claims for payment with pay date of Friday, March 8, 2019. DD 38 WO 231 INVESTIGATION Clapsaddle-Garber Assoc \$ 1,867.75

## April 17, 2019

Granzow moved, McClellan seconded to approve the claims for payment with pay date of Friday, April 19, 2019. All ayes. Motion carried. DD 38 Ongoing Repairs Williams Excavation LLC \$7,425.00

DD 38 Clean silt out of setting holes Williams Excavation LLC \$746.00

### May 16, 2019

DD 38 Lat 4 - Discuss, With Possible Action, Landowner Concern

Justin Huebner called to report standing water in his field. After much discussion, Granzow moved, McClellen seconded to request the landowner to verify the tile is plugged and not flowing. If it is found that the district tile is not flowing, the district will pay for the excavator work and research to repair. CGA is to notify the landowner of this motion so that if it is district tile he is comfortable with calling Lee right away to repair. All ayes. Motion Carried.

### June 12, 2019

Approve Claims for Payment Hoffman moved, Granzow seconded to approve the claims for payment with the pay date of Friday, June 14, 2019. All ayes. Motion carried. DD 38 - Professional Services 4/26/19 - 5/31/2019 CGA \$ 854.40

### June 29, 2019

DD 38 Lat 4- Discuss, With Possible Action, Repair Summary For Work Order #231 Gallentine presented the repair summary, and if there is poor drainage in the future CGA can do more investigation. In the fall is was determined that the landowner can go out and dig to find out if it is drainage district tile. No action required.

#### July 17, 2019

Hoffman moved, Granzow seconded to approve the claims for payment with pay date of Friday, July 19, 2019. All ayes. Motion carried.

DD 38 - Finalization of repair to lat 4 Clapsaddle-Garber Assoc 308.7

	<b>Drainage</b> Hardin Cou		Order			
Work Order #	151 Engineer Pi	roj # 6486.1				
Repair 🗹 (Yes)	Improvement	(Yes)				
To Be Reclassifie	d 🗌				(Prin	t Map With F
Closed					Derversert	
Status					Payment	S
8/11/202	16 Tina	Schlemme	Date	Vendor	Amount	
Date		lest Taken By	5/26/2017	WILLIAMS EXC	\$4,409.00	OUTLETS/S
48	Open Ditc	51072	7/14/2017	RYKEN	\$2,116.00	ENG SVCS T
DD#	Lateral	Fund #			\$0.00	
Ellis	8 88 21	-			\$0.00	
Twp Name	Sec Twp Rge	Qtr Sec			\$0.00	
Requested By	Larry Dougan				· · ·	
Address	,				\$0.00	
Phone	(641) 640-0536				\$0.00	
					\$0.00	
Landowner	Larry Dougan				\$0.00	
Address/GIS#						
Phone					\$0.00	
Date Available For Repair		Estimate/Contract				
When ditch was cleaned out approx 10 years ago,		Date Amount				
all culverts were replaced but on in the SW NE Section 8. Is gone now and back into the field.			Estimate	Date	Amount	
Landowner requests to fix when crops are out.						
Problem/Identification of Repair		Contract				
Attachments			Chg Order 1			
		Chg Order 2				
PUF			Chg Order 3			

## Back To Main Menu

### Comments

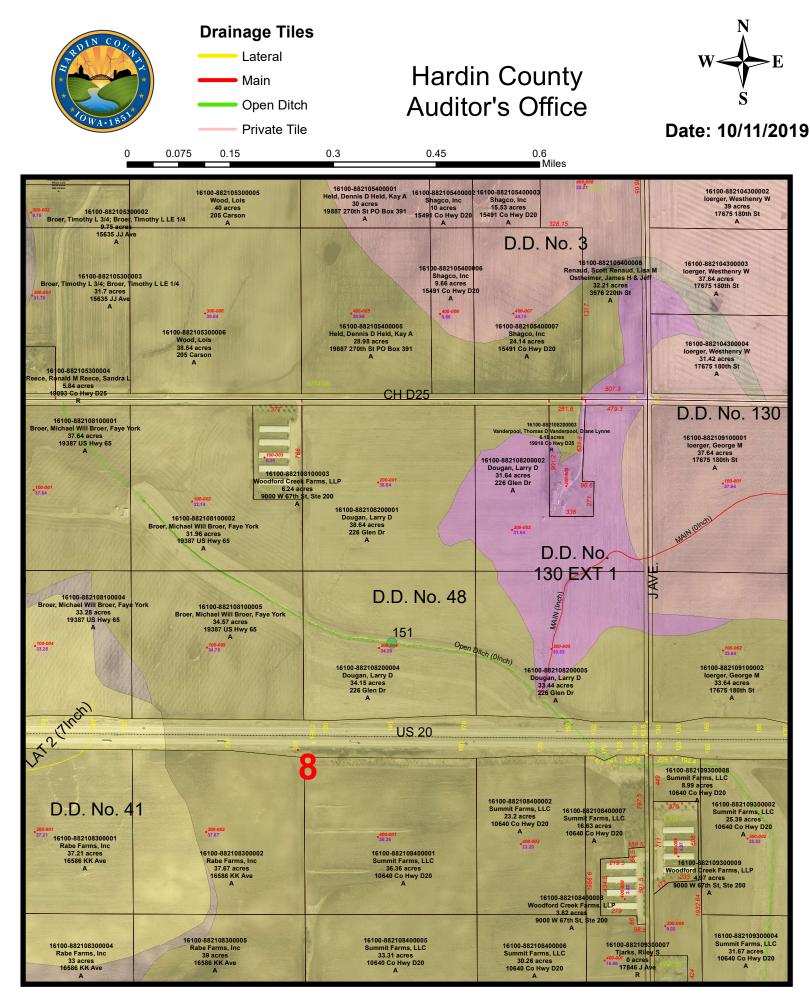
Request Form Showing Location)	8/17/16-BOS approve once crops are out. DD usually pays to help keep banks from eroding. Hire contractor via lottery system.	6/8/17-Repair Summ: Identified other surface drains & tile of condition. If left unrepaired, will lead banks & siltation in ditch. BOS agree r		
Payment Description	10/25/16-Larry called. Corn is out & culverts can be	ldowner complaints.		
URF DRAINS	replaced now. Wants to go w/Eng when goes to look at. Emailed Lee.			
TD REPAIR	11/8-Larry called. Someone came out. One outlet tile is completely gone (south side on east end of farm). If come back out to look at there is another tile only 6" below ground that he has concerns about.			
	<ul> <li>11/9-Lee says no in county contractors available. BOS ok'd out of county contractors for outstanding work.</li> <li>2/17/17-Not able to find contractors. Will try again this Spring after thaw.</li> </ul>			
	3/7/17-Surface drain was never installed and is now eroding away. Approx 500' east from the drain that has eroded away.			
Description	3/8-BOS ok new surface drain to be part of repair proj. (3/9-Called Larry to let him know.)			
	3/15/17-Waiting for Winters to submit all req'd paperwork.			
	3/29/17-Lee to research if surface drain or outlet that needs to installed. Ldowners pay for outlets.			

outlets in similar to erosion of no action as no		



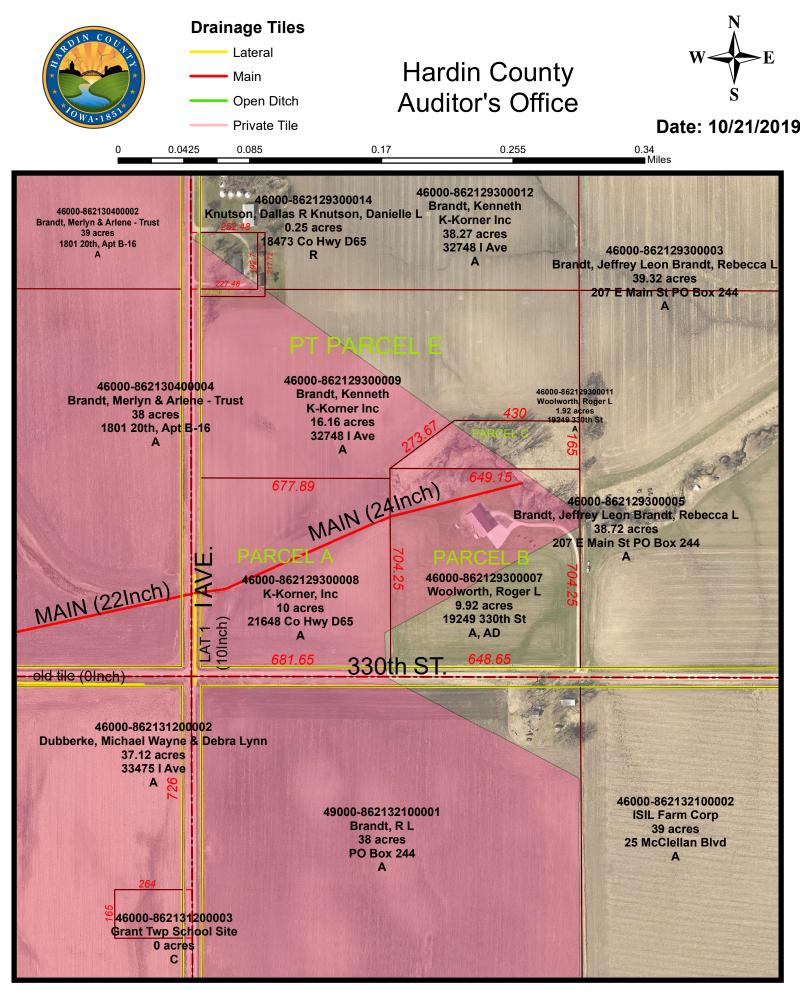
# Drainage Work Order Request For Repair Hardin County

Date:	10/11/2019		
Work Order #:	WO00000274		
Drainage District:	DDs\DD 48 (51072)		
Sec-Twp-Rge:	Qtr Sec:		
Location/GIS:	88-21-08-200-004		
Requested By:	Larry Dougan		
Contact Phone:	(641) 640-0536		
Contact Email:			
Landowner (if different):			
Description: Repair labor, material	DD 48 Larry Dougan came in to report the open into field, and requeested repair. Asked to be co ditch. See work order 151 attached.	-	
Repaired By:		Date:	
Please reference work	c order # and send statement for services to:	Hardin County Auditor's Office Attn: Drainage Clerk 1215 Edgington Ave, Suite 1 Eldora, IA 50627 Phone (641) 939-8111 Fax (641) 939-8245	
For Office Use Only			
Approved:		Date:	



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